

IRRIGATION NOTES:

IRRIGATION SYSTEM MAINTENANCE AND OPERATION SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. IT SHALL BE THE OWNERS RESPONSIBILITY TO ENSURE THAT FUGITIVE WATER DOES NOT LEAVE THE SITE DUE TO OVERWATERING OR MALFUNCTIONING EQUIPMENT.

ALL ON-SITE PLANT MATERIAL, NEW AND EXISTING, SHALL BE IRRIGATED BY COMPLETE, AUTOMATIC DRIP IRRIGATION WITH SUBTERRANEAN LATERALS. TREES SHALL RECEIVE ONE (1) NETAFIM SPIRAL (50' LENGTH) WITH 3 LOOPS AT A FINAL RADIUS OF 4.5' FROM TREE TRUNK, PINNED IN PLACE. NETAFIM SHALL HAVE EMITTERS 12" O.C. WITH A FLOW OF .6 GPH. SHRUBS TO RECEIVE (2) 1.0 GPH DRIP EMITTERS. DRIP AND BUBBLER SYSTEMS TO BE TIED TO 1/2" POLYPIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH SHRUB DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY. TREE DRIP VALVE SHALL RUN 1.5 HOURS, 3 TIMES PER WEEK. RUN TIME WILL BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD. IRRIGATION WILL BE OPERATED BY AUTOMATIC CONTROLLER.

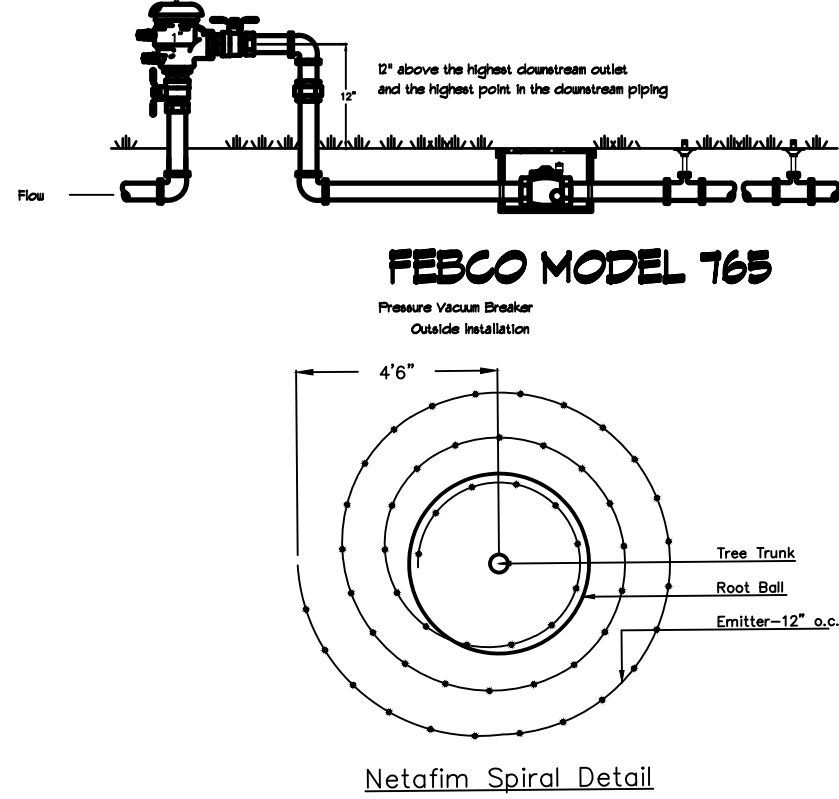
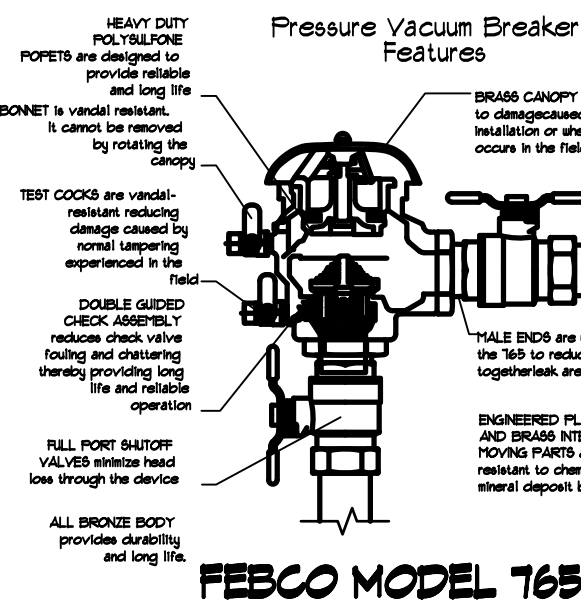
LOCATION OF CONTROLLER TO BE FIELD DETERMINED AND POWER SOURCE FOR CONTROLLER TO BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

WATER AND POWER SOURCE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/BUILDER.

Shrubs & Groundcovers

39	5 Gal	Blue Mist Spirea <i>Caryopteris x clandonensis</i>	3' x 3'	Low+	9	351
10	5 Gal	Curl-Leaf Mountain Mahogany <i>Cercocarpus ledifolius</i>	15' x 15'	Low+	225	2250
8	5 Gal	Sotol <i>Dasylirion wheeleri</i>	5' x 5'	RU	25	200
30	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3' x 3'	Low+	9	270
22	5 Gal	Althea / Rose of Sharon <i>Hibiscus syriacus</i>	10' x 10'	M	100	2200
43	5 Gal	Feather Reed Grass <i>Calamagrostis arundinacea</i>	30" x 2'	M	9	387
16	5 Gal	Switchgrass <i>Panicum virgatum</i>	4' x 4'	M	16	256
13	5 Gal	Three-Leaf Sumac <i>Rhus trilobata</i>	6' x 6'	Low+	36	468
52	5 Gal	Pink Double Knock Out Rose <i>Rosa 'Pink Double Knock Out'</i>	4' x 4'	M	16	832
25	5 Gal	Autumn Cherry Sage <i>Salvia greggii</i>	2' x 3'	Low+	9	225
258				Total Shrub Coverage:	1439	



GENERAL NOTES

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH APPLICABLE CITY WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL MAINTAIN STREET TREES IN A LIVING, HEALTHY, AND ATTRACTIVE CONDITION.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODES, LAND-USE ORDINANCES, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATIVE, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSTALLATION.

GRAY GRAVEL OVER FILTER FABRIC TO A MINIMUM DEPTH OF 3" SHALL BE PLACED IN ALL LANDSCAPE AREAS WHICH ARE NOT DESIGNATED TO RECEIVE NATIVE SEED OR OTHER HATCHED GROUNDCOVER AREA. ALL GRAVEL SHALL BE PLACED .5"-1" LOWER THAN ADJACENT HARD SURFACES.

PRIOR TO CONSTRUCTION, LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY LINES. IN CASE OF A DISCREPANCY BETWEEN UTILITIES INDICATED ON PLAN AND ACTUAL FIELD VERIFICATION, CONTRACTOR SHALL CEASE WORK AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY FOR DIRECTIONS ON HOW TO PROCEED.

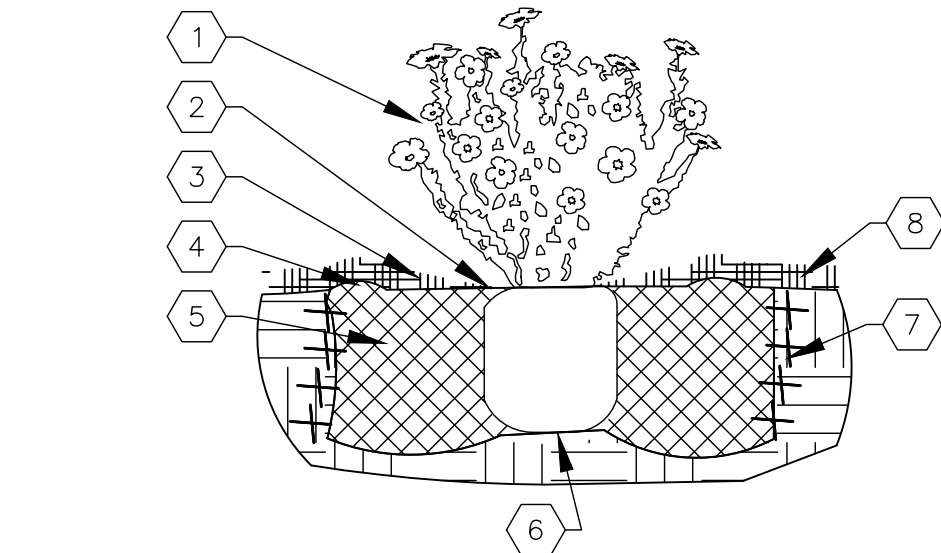
POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES IS TO REMAIN AFTER ALL LANDSCAPE WORK IS COMPLETED.

LANDSCAPE LEGEND

SYMB.	QTY	SIZE (INSTALL)	COMMON/BOTANICAL	MATURE HxW	WATER USE	COVER (EA.)	TOTAL
Trees							
	6	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20' x 25'	L	625	3750
	3	2+ Trunks w/ 2" Combined Cal.	New Mexico Olive <i>Forestiera neomexicana</i>	15' x 15'	M	225	675
	4	2" Cal	Honey Locust <i>Gleditsia triacanthos inermis</i>	50' x 45'	M+	2025	8100
	1	2" Cal	Texas Red Oak <i>Quercus buckleyi</i>	40' x 40'	M	1600	11200
	12	6" Height	Austrian Pine <i>Pinus nigra</i>	35' x 25'	M+	625	7500
	3	2" Cal	Chinese Pistache <i>Pistacia chinensis</i>	40' x 30'	M	300	8100
	5	15 Gal	Chaste Tree <i>Vitex agnus-castus</i>	20' x 20'	M	400	2000
	46					Total Tree Coverage:	41325

Other Materials

SYMB.	QTY	TYPE
	17	EA Boulders (2-3cf) To be placed at contractor's discretion
29206	5F	Landscape Gravel A with Filter Fabric 3/4" Brown Gravel
3964	5F	Oversize Landscape Gravel / No Filter Fabric 2-4" Angular Cobbles/RipRap
536	5F	Concrete Extended Patio
967	5F	Synthetic Turf on Concrete Putting Green
160	LF	Landscape Curb
2	EA	Site Furnishings 4" Round Benches



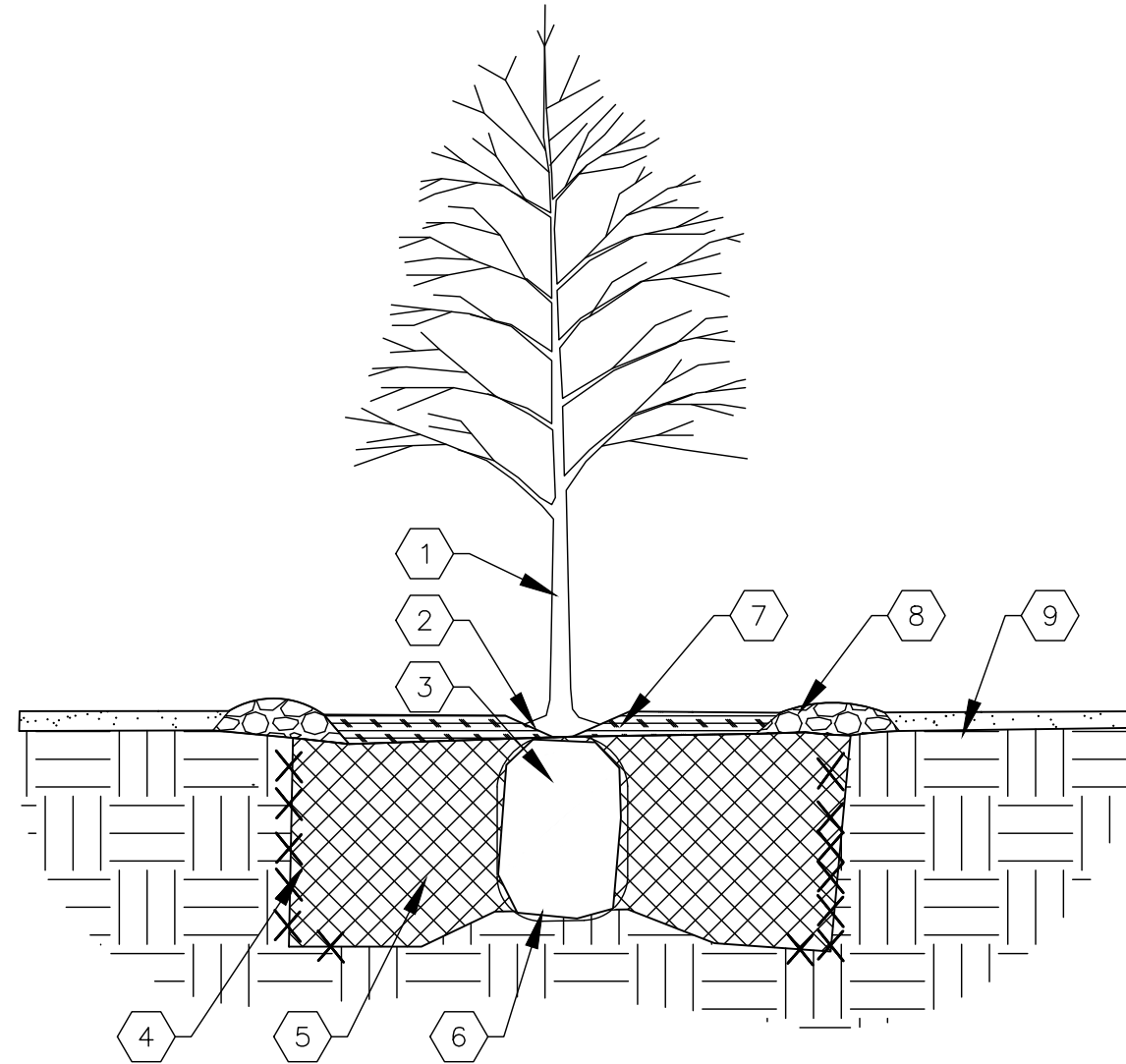
SHRUB PLANTING KEYED NOTES

1. SHRUB LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. INSTALL WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. USE WOOD CHIP MULCH OVER ROOTBALL, FEATHERED TO A 2" DEPTH AND HELD BACK 2" FROM TRUNKS AND STEMS AND TO COVER DRIPLINE.
4. 2" HIGH X 8" WIDE BERM.
5. BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL.
7. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
8. MULCH - SEE PLANTING PLAN, 3" DEPTH UNLESS OTHERWISE NOTED.

01 SHRUB PLANTING

NTS

SHRUB PLANTING DETAIL



TREE PLANTING KEYED NOTES

1. TREE LOCATION, SPECIES, AND CONDITION AS PER PLAN.
2. REMOVING EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH).
3. INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
4. SCARIFY AND LOOSEN EDGES OF PLANTING PIT.
5. BACKFILL PER SPECIFICATIONS, LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS.
6. UNDISTURBED NATIVE SOIL UNDER ROOTBALL TO PREVENT SETTLING.
7. INSTALL WOOD CHIP ORGANIC MULCH OVER ROOTBALL AND TO COVER DRIP LINE. GENERALLY, MULCH SHOULD BE HELD 4" BACK FROM TREE TRUNK.
8. 4" HIGH X 16" WIDE COBBLE BERM AT DRIP LINE.
9. MULCH - SEE PLANTING PLAN.

02 TREE PLANTING

NTS

TREE PLANTING DETAIL

LANDSCAPE CALCULATIONS

ZONING
APPLICABLE REGULATION(S)

TOTAL LOT AREA (ACRES)
TOTAL LOT AREA (SF)
BUILDING AREA (SF)
NET LOT AREA (SF)

REQUIRED LANDSCAPE (%)
REQUIRED LANDSCAPE (SF)
LANDSCAPE PROVIDED (SF)

VEGETATIVE COVER (%) - REQ
VEGETATIVE COVER (SF - REQ)
VEGETATIVE COVER (SF - PROV.)

REQ. TREES - 1ST AND 2ND STORY UNITS
PROVIDED UNIT TREES

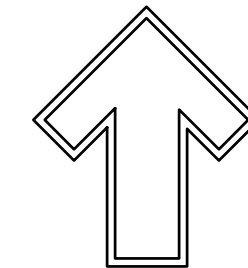
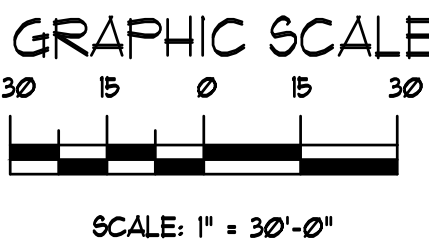
PD: PLANNED DEVELOPMENT
IDO 14-16-5-6 AND PART 6-6-2 OF ROA 1994

GROUNDCOVER (%) - REQ
GROUNDCOVER (SF - REQ)
GROUNDCOVER (SF - PROV.)

PARKING LOT AREA (SF)
REQ. PARKING LANDSCAPE 10% (SF)
PROV. PARKING LANDSCAPE (SF)

REQ. PARKING TREES (1/10 SPOTS)
PROV. PARKING TREES
PROVIDED DECIDUOUS TREES
COOL SEASON GRASS (SF)
COOL SEASON GRASS (% OF LANDSCAPE)

REQ. STREET TREES
PROVIDED UNIT TREES
PROVIDED DECIDUOUS TREES



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October 21, 2021

Cactus Patch Plaza
1801 La Morada Pl NW
Albuquerque, NM
Landscape Design Development

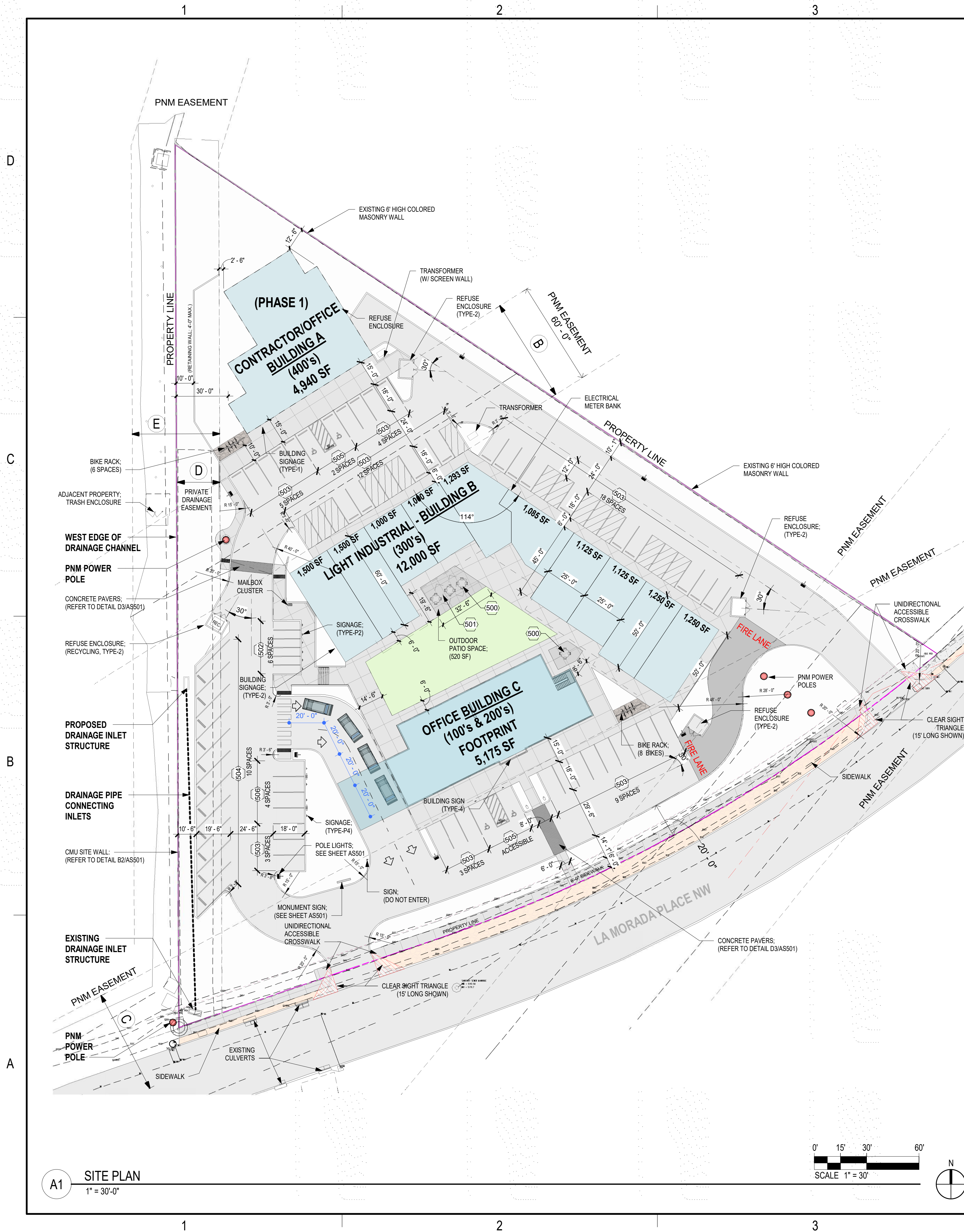
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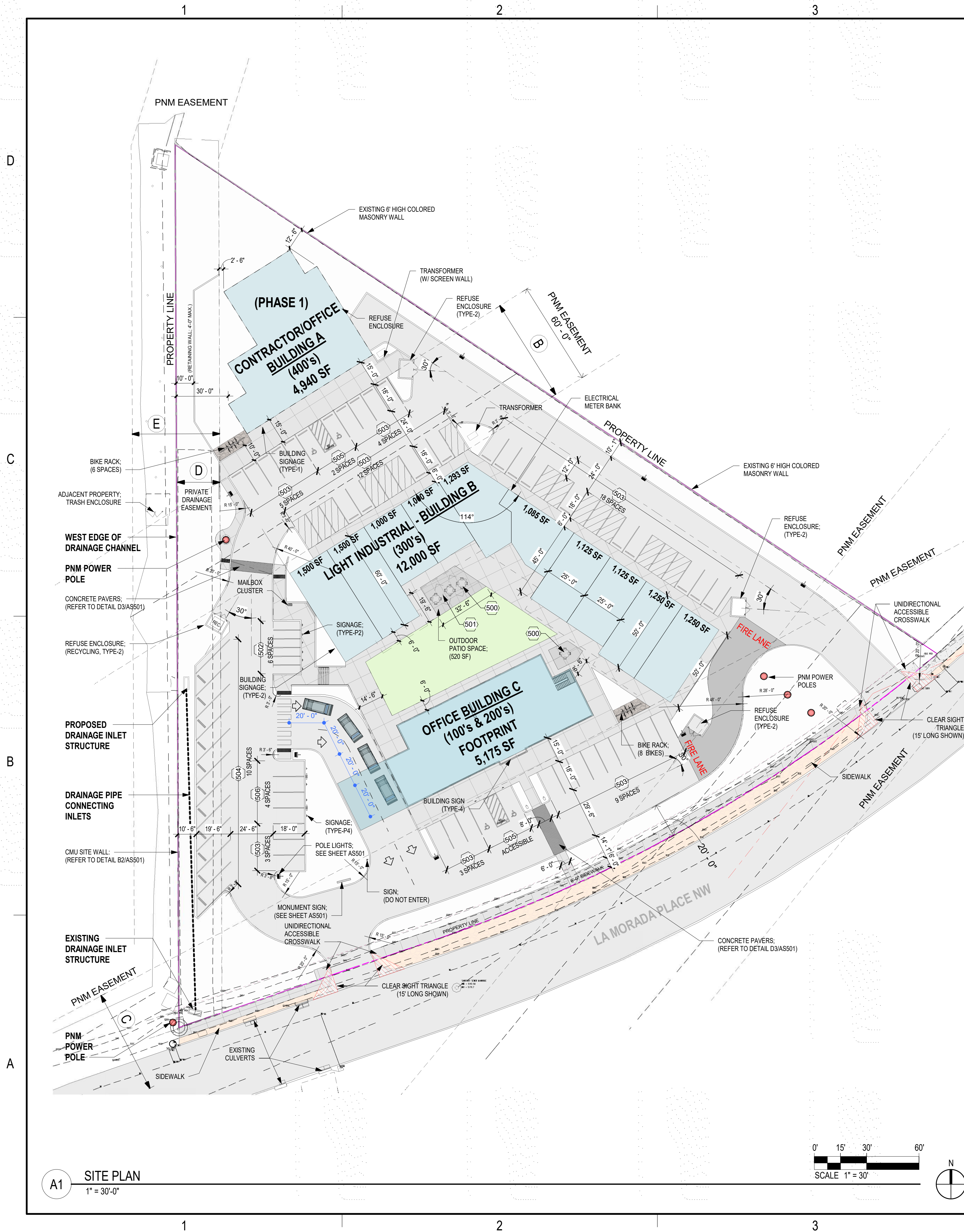
The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY
JFI
REVISION
DATE
10/21/2021

SHEET #

L1-101





A1 SITE PLAN
1" = 30'-0"

GENERAL NOTES

- ROOFTOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING BASIC MATERIALS.
 - THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHT-OF-WAY.
 - GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. PROVIDE SITE SCREEN WALL PER DETAIL ON SHEET AS501.
- ALL ACCESSIBLE RAMPS SHALL BE BE CONSTRUCTED PER COA STANDARDS (DWG #2441).
- STREET LIGHTS SHALL MEET THE FOLLOWING SPECIFICATION: G.E. 100 WATT, BRONZE, LUMEN SHOEBOX TYPE WITH LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.
 - PROVIDE FULL CUT-OFF IN COMPLIANCE WITH STATE OF NEW MEXICO NIGHT SKY ORDINANCE.
- PLACEMENT OF FIXTURES AND STANDARDS SHALL CONFORM TO STATE AND LOCAL SAFETY AND ILLUMINATION REQUIREMENTS.
- NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- SITE LIGHTING DESIGN TO MAXIMIZE PUBLIC SAFETY WHILE NOT AFFECTING ADJACENT PROPERTIES, BUILDINGS, OR ROADWAYS WITH UNNECESSARY GLARE OR REFLECTION

SHEET KEYNOTES

- 500 PATIO FURNITURE: PATIO TABLES, MYTCAAT 46 INCH ROUND, COATED EXPANDED METAL OR EQUAL
- 501 PATIO FURNITURE: SHADE STRUCTURE;(1) SKYWAYS 20x40 DOUBLE CANTILEVER HYPAR OR EQUAL
- 502 MOTORCYCLE PARKING STALL; SEE SHEET AS502
- 503 STANDARD PARKING STALL; SEE SHEET AS502
- 504 ANGLE PARKING STALL; SEE SHEET AS502
- 505 ACCESSIBLE PARKING STALL; SEE SHEET AS502
- 506 PARKING SPACE WITH ELECTRIC VEHICLE CHARGING STATION; SEE SHEET AS502

PROJECT DATA

PROJECT ADDRESS: 7801 LA MORADA
ALBUQUERQUE, NEW MEXICO 87120
LADERA BUSINESS PARK UNIT 1
TRACT 24

ZONE ATLAS PAGE: H-09-2
DO ZONE DISTRICT: NR-C

PROPOSED USE: MIXED USE; OFFICE & LIGHT INDUSTRIAL

GROSS ACRES: 27 ACRES
BUILDING AREA: 26,725 SF
BUILDING 100; 2-STORY OFFICE = 9,650 SF
BUILDING 300; LIGHT INDUSTRIAL (WAREHOUSE W/ OFFICE) = 12,125 SF
BUILDING 400; OFFICE/CONSTRUCTION CONTRACTOR = 4,950 SF

BUILDING HEIGHT: 30 FEET MAXIMUM.

PARKING REQUIREMENTS: OFFICE AREA = 16,530 SF
3.5 SPACES PER 1,000 SF = 58 PARKING SPACES
LIGHT INDUSTRIAL = 10,195
1 SPACE PER 1,000 SF = 10 PARKING SPACES

72 TOTAL SPACES REQUIRED
73 PARKING SPACES PROVIDED

ACCESSIBLE PARKING = 4 SPACES REQUIRED

MOTORCYCLE PARKING (TABLE 5-5-4) = 3 SPACES REQUIRED; 6 SPACES REQUIRED.

BICYCLE SPACES (TABLE 5-5-5) = 3 SPACES OR 10% OF PARKING
= 7 BICYCLE PARKING SPACES REQUIRED

VEHICLE STACKING: (TABLE 5-5-8) GENERAL: BANK OR AUTOMATED TELLER MACHINE OR RETAIL
= 4 STACKING SPACES REQUIRED

EASEMENT DESCRIPTIONS

- A EXISTING 100' PNM EASEMENT
(04/12/56, BOOK MISC D 348, PGS 43-47)
- B EXISTING 60' PNM EASEMENT
(01/13/2020, DOC #2020003277)
- C EXISTING 60' PNM EASEMENT
(01/13/2020, DOC #2020003277)
- D EXISTING 25' PRIVATE DRAINAGE EASEMENT
(01/22/2004, 2004C-24)
GRANTED TO OWNERS OF TRACTS 21, 22, & 23 AND TO BE JOINTLY MAINTAINED BY SAID OWNERS.
- E EXISTING 50' PNM EASEMENT
(01/22/2004, 2004C-24)

LEGEND

(REFER TO LANDSCAPE PLAN FOR MATERIALS)

- GRAVEL
- PAVING: ASPHALT
- INTERNAL WALKWAYS, CONCRETE
- PEDESTRIAN WALKWAY, CONCRETE PAVERS

VICINITY MAP



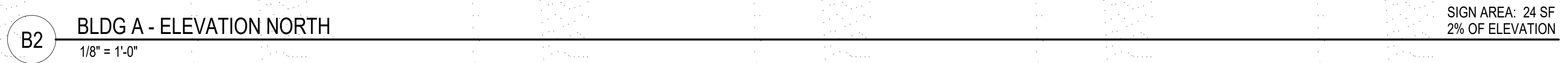
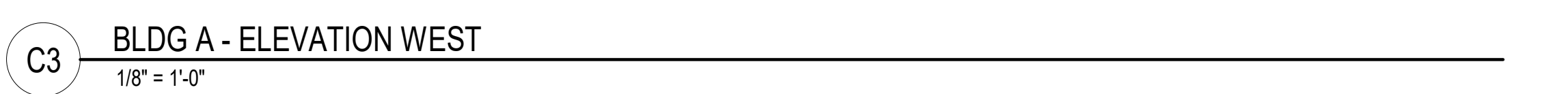
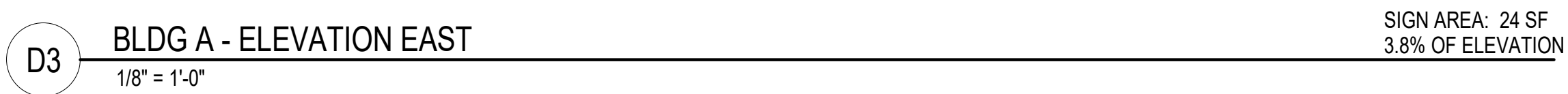
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ALBUQUERQUE, NM

PACIFIC CACTUS LLC

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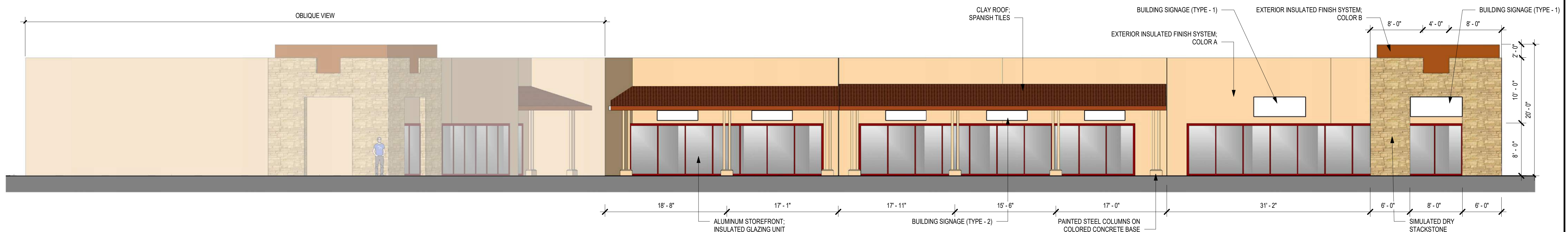
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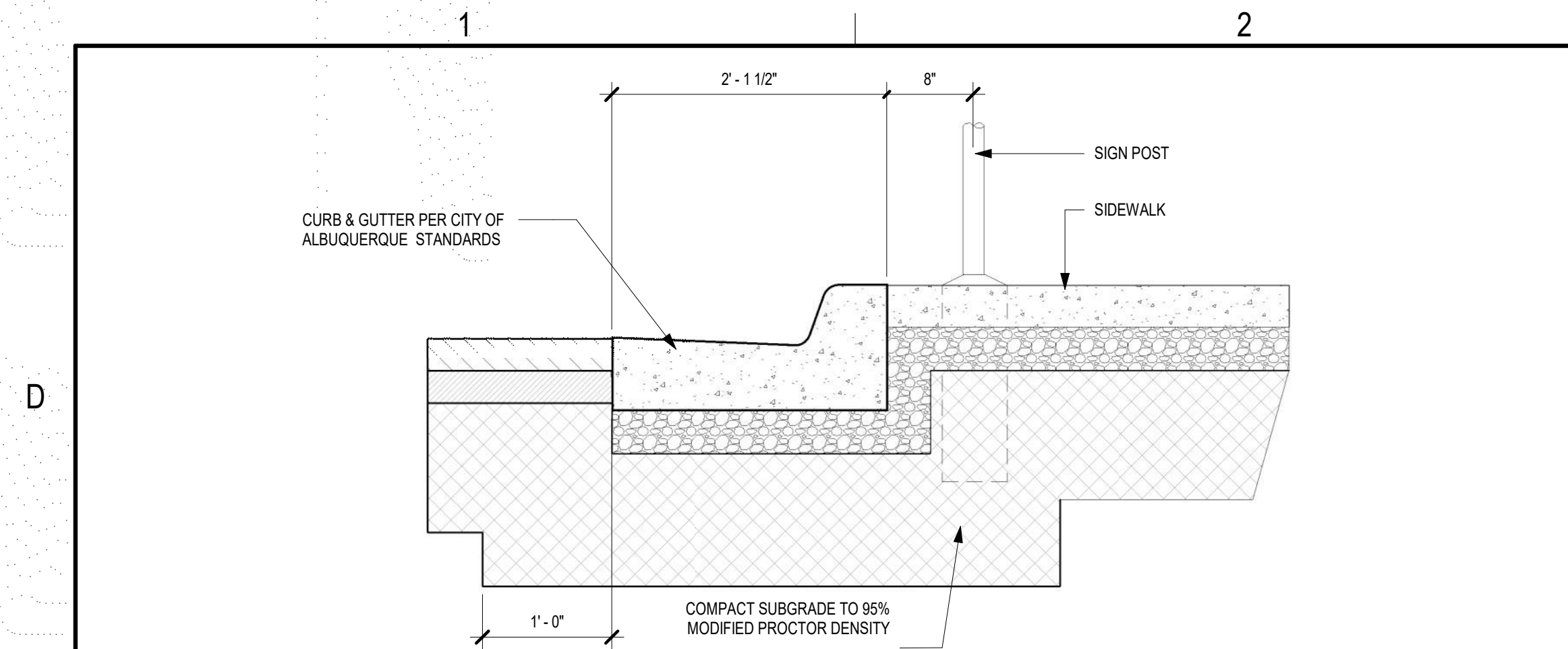
B1 BLDG B - ELEVATION WEST-B
1/8" = 1'-0"

SIGN AREA: 108 SF
4% OF ELEVATION

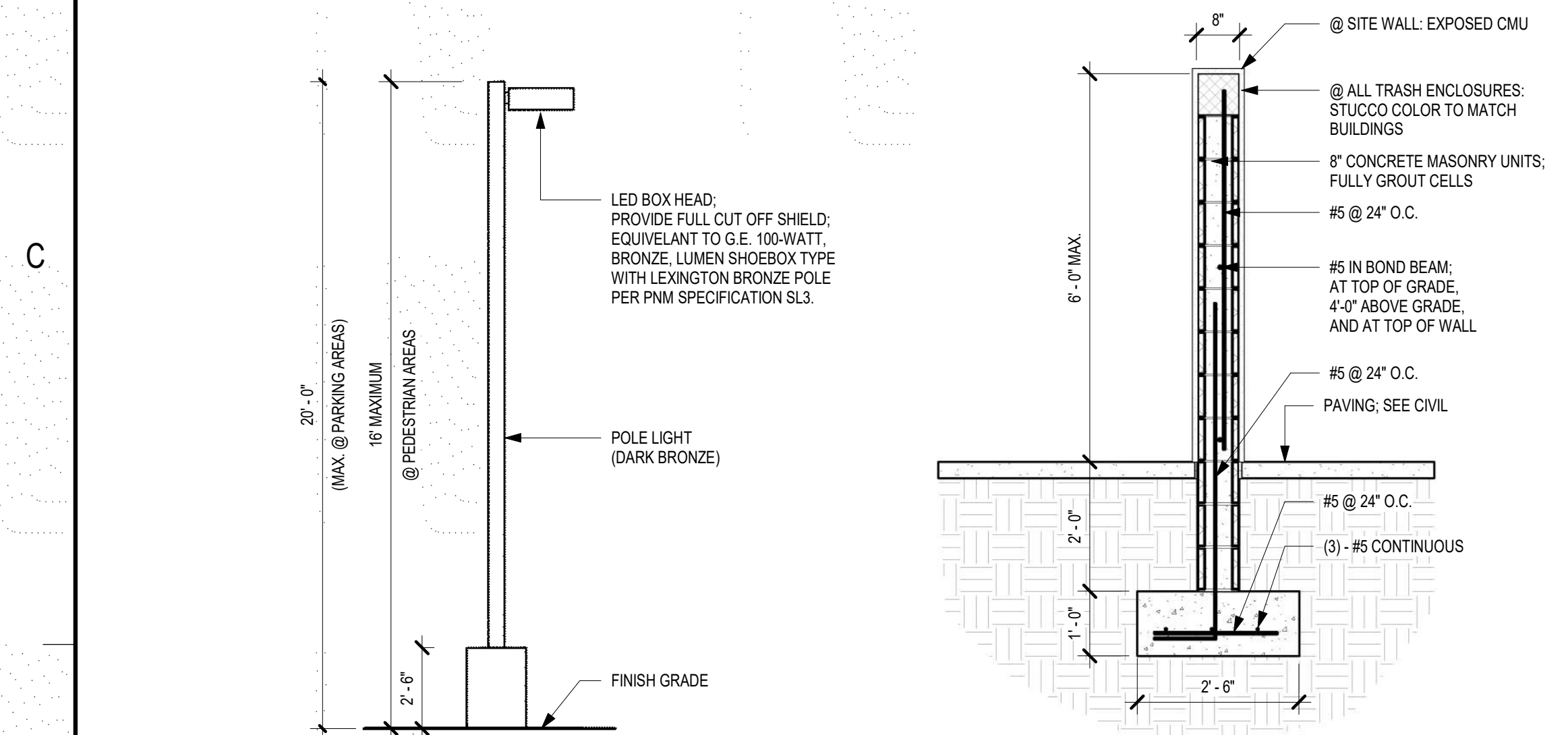


A1 BLDG B - ELEVATION WEST-A
1/8" = 1'-0"

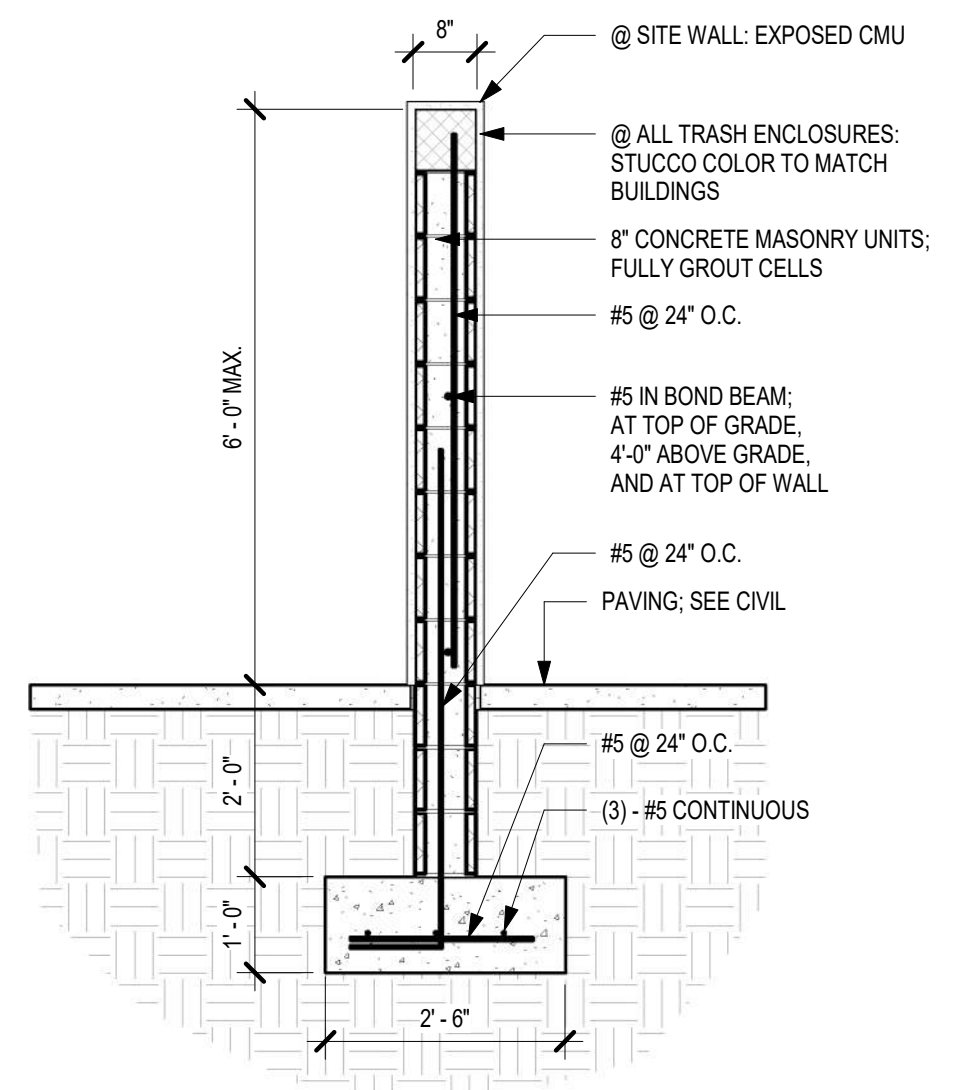
SIGN AREA: 24 SF
2% OF ELEVATION



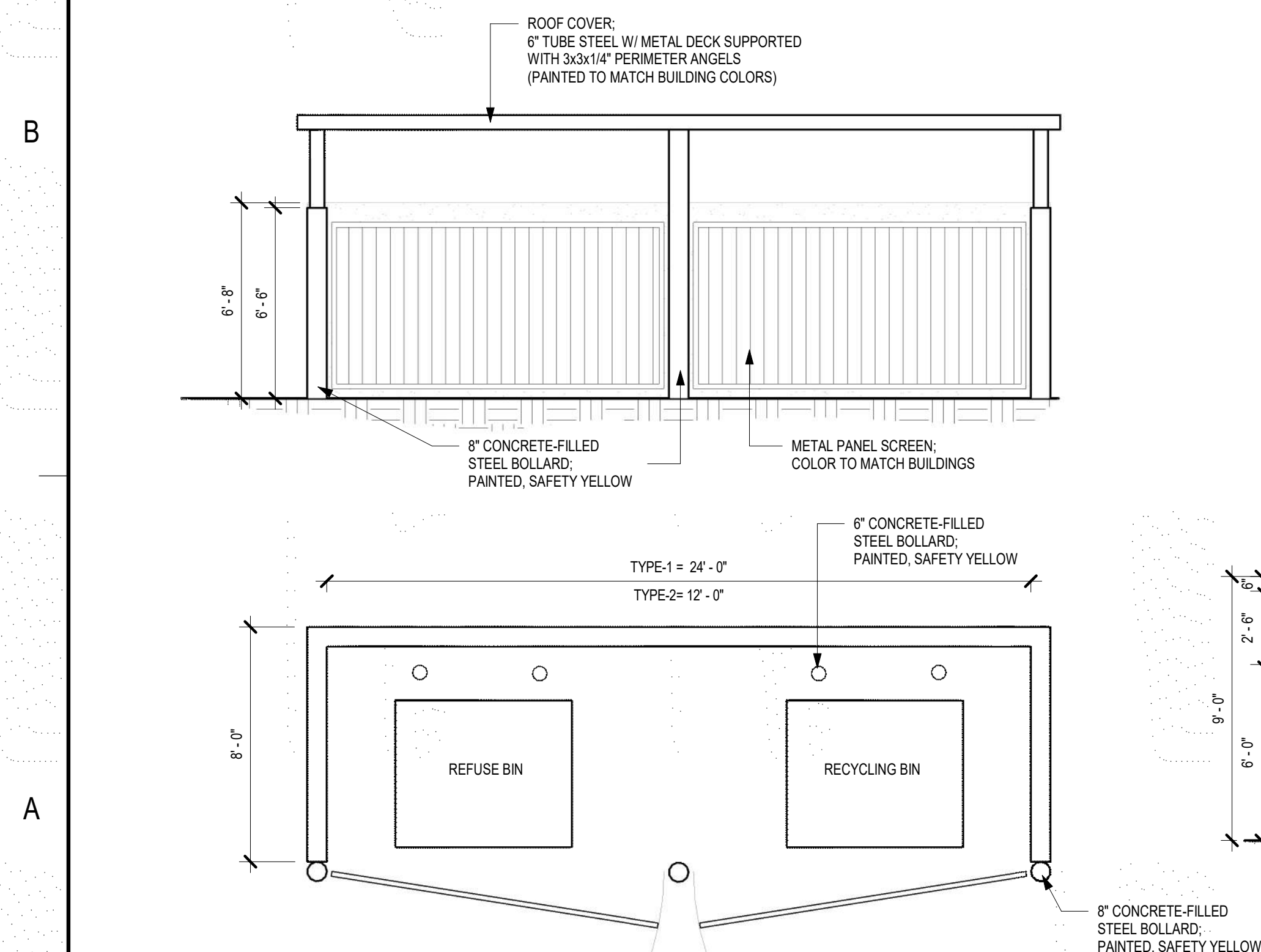
D1 CURB DETAIL
1" = 1'-0"



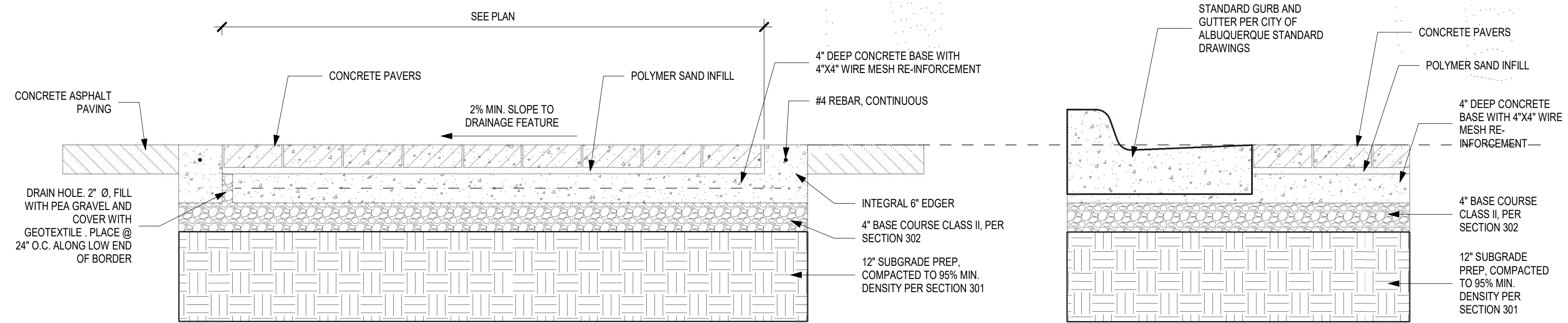
B1 POLE LIGHT DETAIL
1/4" = 1'-0"



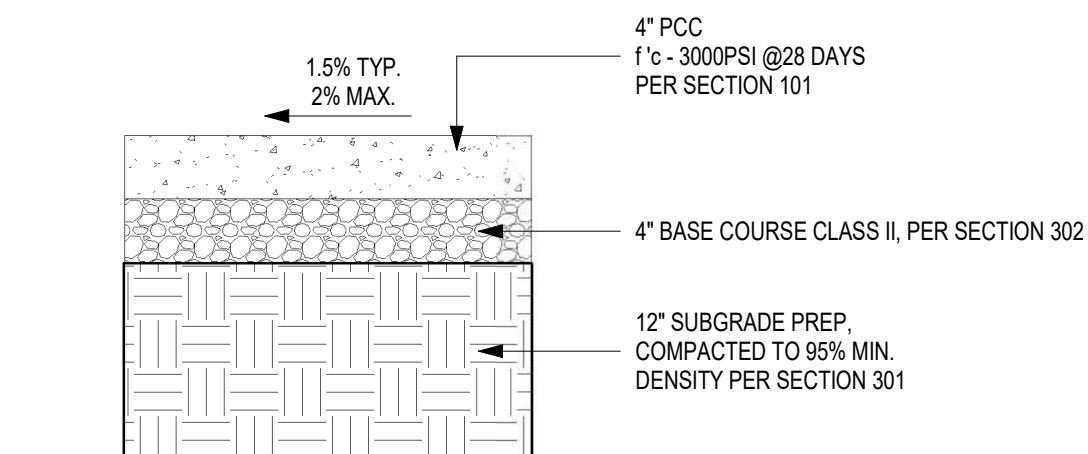
B2 SITE WALL - 6' MASONRY
1/2" = 1'-0"



A1 REFUSE ENCLOSURE
1/4" = 1'-0"



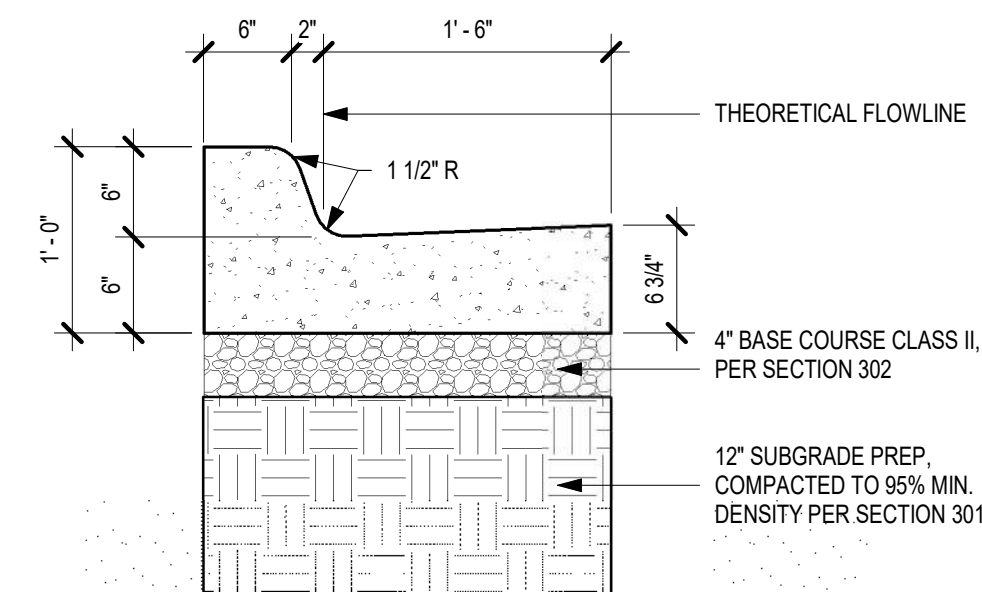
D3 CURB DETAIL
1" = 1'-0"



CONSTRUCTION NOTES:

1. WHEN ABUTTING TO VERTICAL WALLS, BENCHES AND BUILDINGS, INSTALL 1/2" BITUMINOUS EXPANSION JOINT. RECESS 1/4" VERTICALLY. INSTALL SIKAFLEX POLYMER SEALANT OR APPROVED EQUAL PER SECTION 107 (TYP).
2. SEE LANDSCAPE SITE LAYOUT PLAN SHEETS FOR 1/2" EXPANSION AND 1/4" CONTRACTION JOINTS AND FINISHED CONCRETE SURFACE REQUIRED.
3. TOOLED EDGES 1/2" RADIUS

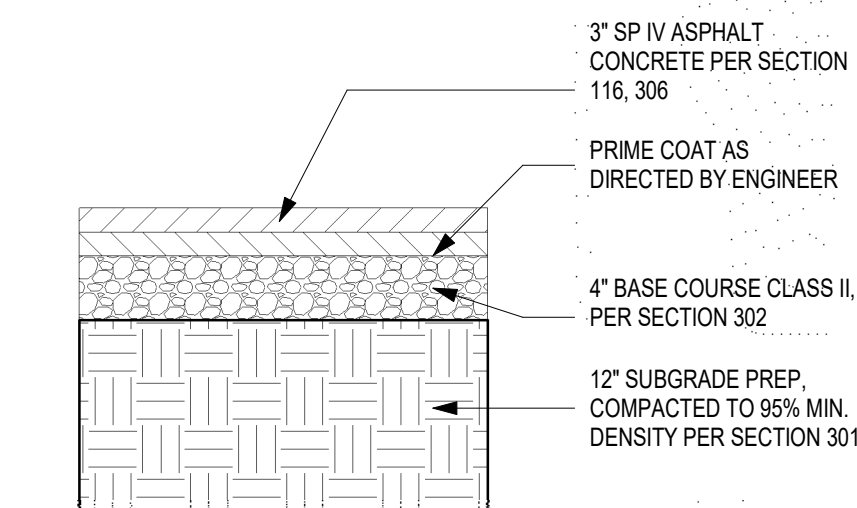
C3 4" PCC SIDEWALK DETAIL
1" = 1'-0"



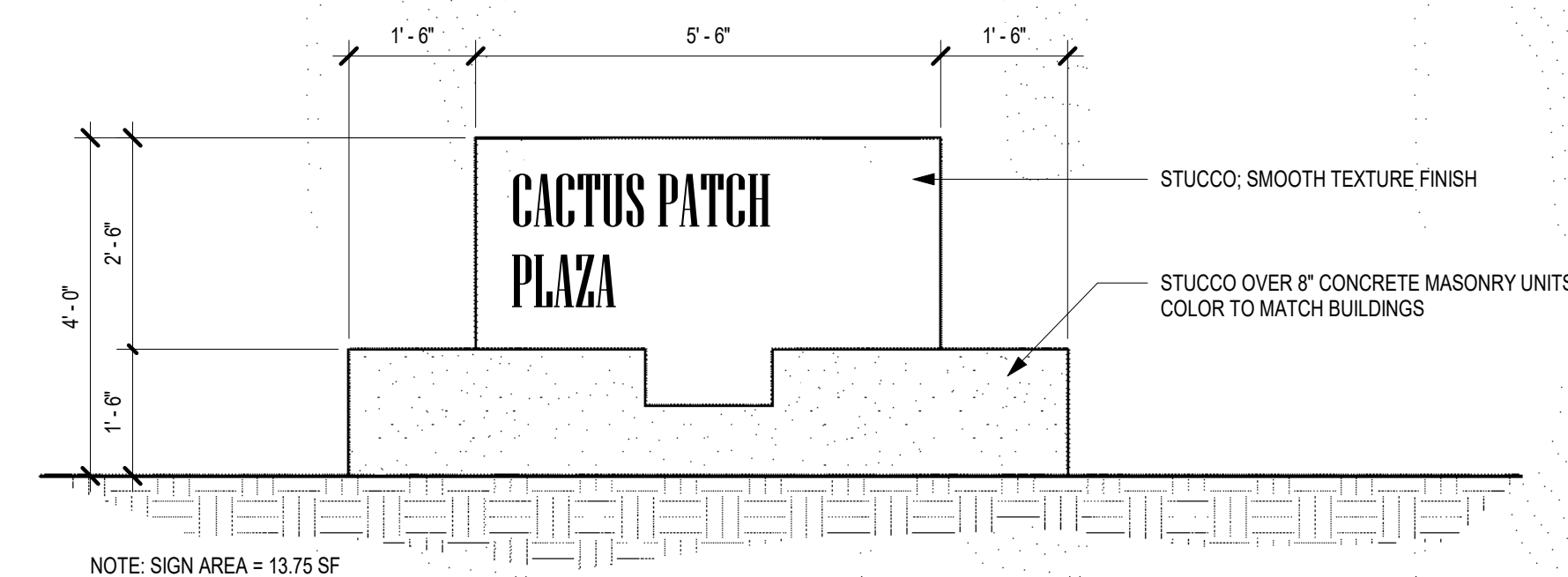
CONSTRUCTION NOTES:

1. 1/2" EXPANSION JOINTS ON 30' O.C. MAXIMUM, AND AT ALL CURB RETURNS AND 1/4" CONTRACTION JOINTS AT 5' O.C. TO CORRESPOND WITH LOCATION OF 1/4" CONTRACTION JOINTS IN SIDEWALK.
2. SHALL CONTAIN ANTI-CRACK FIBER REINFORCEMENT AT A RATE OF 1LB PER CUBIT FOOT.

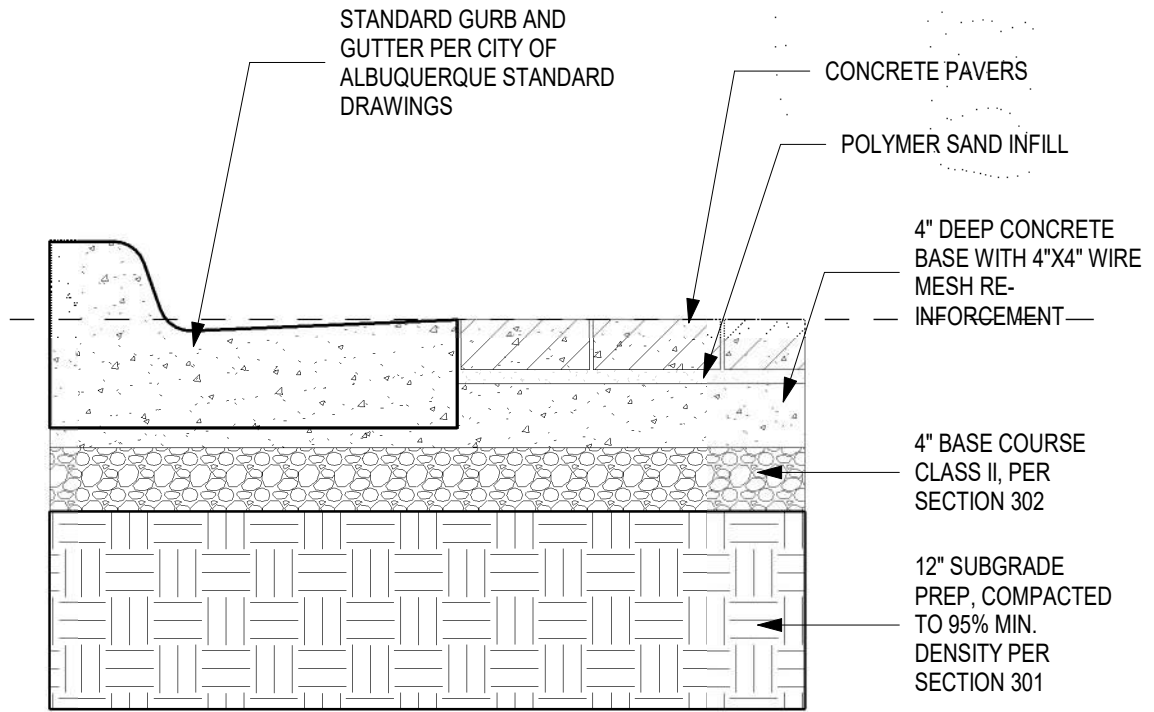
C4 CURB DETAIL
1" = 1'-0"



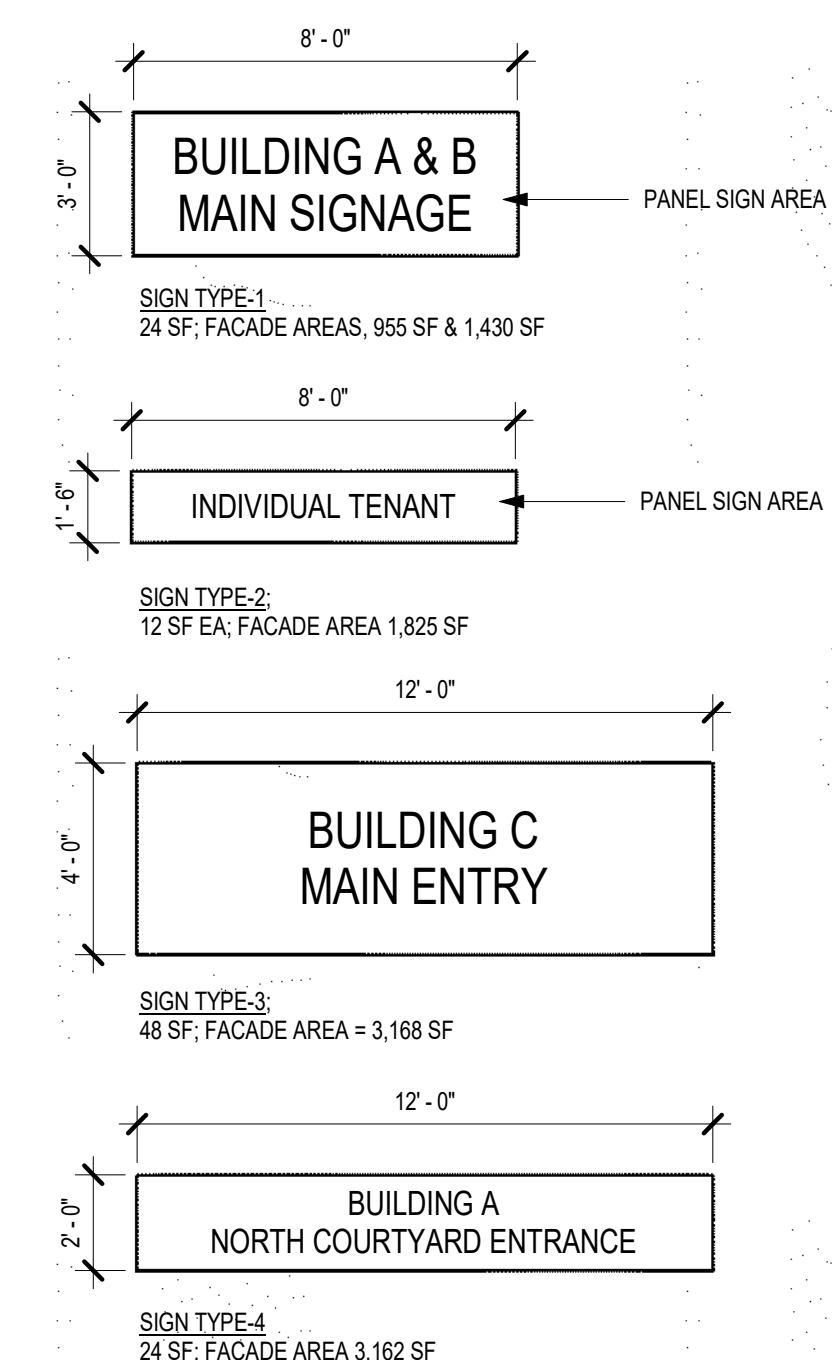
B4 3" ASPHALT SECTION
1" = 1'-0"



A4 MONUMENT SIGN
1/2" = 1'-0"



D5 CURB DETAIL
1" = 1'-0"



SIGN CONSTRUCTION:
1. LASER CUT ACRYLIC LETTERS ON METAL
PANEL ON BRUSHED ALUMINUM PANEL.
(COLOR COMPATIBLE WITH BUILDING
MATERIAL COLORS)

B5 **SIGN TYPES**
1/4" = 1'-0"

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www.huitt-zollars.com

ADVANCEDDESIGNSM

**LADERA
BUSINESS
PARK UNIT 1 -
CACTUS
PATCH PLAZA**

7801 LA MORADA PLACE NW
ALBUQUERQUE, NM

PACIFIC CACTUS LLC

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

ISSUE DRAWING LOG:

[illegible]

SITE DETAILS

AS501

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7801 LA MORADA PLACE NW
ALBUQUERQUE, NM

PROJECT NO.: R311450.01

DRAWN BY: STAFF

REVIEWED BY: STAFF

APPROVED BY: STAFF

ISSUE DRAWING LOG:

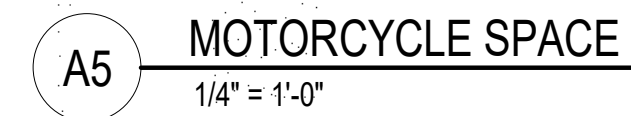
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AS502

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B1 **PARKING SIGN SCHEDULE**
3/4" = 1'-0"



November 12, 2021

Project No.: PR-2021-005473

Application No.: SI-2021-00709

RE: Responses to June 09, 2021 DRB Comments

ENGINEERING COMMENTS:

1. Provide approved Fire-1 plan.

[Provided](#)

2. Call out paved surfaces on the plan, and call out curb to be 6" - 8" high. Provide curb detail. Call out all curb radii, following DPM standards.

[Provided](#)

3. Show motorcycle parking and bicycle parking with a keyed note. Provide details for motorcycle signage and a bike rack per IDO requirements. Show all dimensions required to demonstrate sufficient space for the bicycle parking. Call out "MC" at the back of any motorcycle parking spaces.

[Provided](#)

4. A 6-foot ADA pathway is required from the handicapped spaces to all offices and from all offices to the right-of-way. Show these paths with sidewalk, handicapped ramps, doorways, etc. Provide sidewalk details, crosswalk details, and ramp details as needed. Maximum sidewalk cross-slope is 2%. Also show all sidewalk dimensioning for other pathways,

[Provided.](#)

[Complete sidewalk details will be submitted with permit documents.](#)

5. Provide parking space dimensioning for all parking lot segments including the typical parking spaces, any van accessible aisles and handicapped spaces and motorcycle spaces.

[Provided](#)

6. Specify angle for angular parking and meet dimensioning requirements per the DPM.

[Provided](#)

7. Use a keyed note to call out parking bumpers (typical) and specify dimension from the buildings to industrial building to avoid damage to building.

[6' walkway provided between parking and industrial building. Parking bumpers will be placed in locations without coiling doors.](#)

8. Provide handicapped sign details and list "No Parking" at the back of any accessible aisles as well as any other areas where parking is not desired between parking spaces. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."

[Provided](#)

9. Specify purpose of car queuing shown on west side of office building, and is this queuing adequate? Wayfinding signage should be included.

[Car queuing is shown because there is a possibility the tenant may be a small bank branch with a teller window and/or ATM.](#)

10. For any one-way drive aisles provide one-way signage and "Do Not Enter" signage. Use keyed note to call out any painted arrows.

[Required roadway signage will be submitted with permit plans.](#)

11. Include standard note for the clear sight triangle. "Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle." Use DPM standards for intersection clear sight distance due to curve in the road.

[Provided](#)

12. Include sidewalk across site frontage on the infrastructure list. Place sidewalk up against property line, leaving landscape buffer between the curb and sidewalk. Include ramp call-outs per COA standard detail. Reference COA standard details for the driveways.

[Provided](#)

DEVELOPMENT REVIEW BOARD - HYDROLOGY SECTION

ENGINEERING COMMENTS:

- Hydrology needs an approved Conceptual Grading & Drainage Plan.

[Grading plan was submitted on 11/10/2021.](#)

- Comment – Lot will need Hydrology to approved Grading and Drainage Plan prior to Building Permit if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

[Concur.](#)

ABCWUA Comment:

Please provide written description of how the following comments were addressed with the next submittal.

- a. An Availability statement has been requested and is currently on hold pending submittal of a fire one plan.

[Availability statement attached.](#)

b. Existing infrastructure:

- i. There is an existing 8 inch PVC water main in La Morada Place.
- ii. There is an existing 8 inch PVC sanitary sewer main in La Morada Place.
- iii. The existing frontages are covered by these public water and public sewer improvements.

c. Utility Plan:

- i. Provide a utility plan depicting water and sewer service to the site.
- ii. Include whether the separate buildings are to include separate meters.
[Each building will be metered separately.](#)
- iii. Is there an anticipated user for the light industrial building.
[There are no anticipated users for any of the buildings at this point in time.](#)

Parks and Recreation Department

06-09-2021

It does not appear a plant or material palette/schedule was provided as part of a Landscape Plan per IDO Section 5-6(C)(1).

[Landscape plan will be submitted.](#)

Planning Dept. - Major Case Comment

Because the site is vacant and ungraded, a Sensitive Lands Analysis per 5-2(C)(1) of the IDO must be performed with an analysis of site constraints related to sensitive lands. New subdivisions of land and site design shall avoid locating development, except for open spaces and areas that will not be disturbed during the development process, in the following types of sensitive lands:

- 5-2(C)(1)(a) Arroyos.
- 5-2(C)(1)(b) Floodplains and Special Flood Hazard Areas.
- 5-2(C)(1)(c) Irrigation facilities (acequias).
- 5-2(C)(1)(d) Large stands of mature trees.
- 5-2(C)(1)(e) Rock outcroppings.
- 5-2(C)(1)(f) Significant archaeological sites.
- 5-2(C)(1)(g) Steep slopes and escarpments.
- 5-2(C)(1)(h) Wetlands.

- An Infrastructure List is included with this submittal. A recorded IIA must be submitted prior to final sign-off from Planning.

[An infrastructure list is not required for the driveway access from La Morada to the site.](#)

- The Infrastructure List needs to be signed and dated prior to distribution to the DRB members for their e-signatures.

[n/a](#)

- There are three phases to the Site Plan. Note how the exterior improvements are being constructed per each phase, including vehicular, accessible, motorcycle, and bicycle parking. Note and ensure that the parking requirements are being met per each phase.

Phasing description has been added to the Phasing plan sheet.

Phase 01 will include all the perimeter drives, parking, and landscaping.

Phase 02 will fill in the center landscaping.

Phase 03 will complete the southern portion of the site connecting the perimeter drives.

- The applicant must detail on the Site Plan and/or comment response letter how the proposed development is meeting all the requirements of the Ladera Business Park Master Plan, including any requirements not addressed in this comment memo and other DRB/outside entity comment memos. Any requirements the Ladera Business Park Master Plan doesn't address the IDO has jurisdiction over, and must be met.

We have met with Ladera Business Park Architectural Review Committee to review the development and have submitted a package for their review/comment/approval.

- Provide proof of approval for the project from the Ladera Business Park Architectural Committee.
Development has been submitted and comments are pending completion of their review.

- See the attached standards for Drainage Basin Treatments.
Concur.

End